



Local Historic Districts and Neighborhood Conservation Districts (NCDs)

NCD

- A Neighborhood Conservation District (NCD) is a zoning overlay that **addresses appropriateness of new construction** in existing residential neighborhoods and commercial districts, **through enforceable design standards.**



LHD

- A Local Historic District is a zoning overlay for an area officially recognized by the City of San Antonio for its outstanding historical, cultural, archaeological, or architectural significance. It **protects from hasty demolition and inappropriate exterior alterations** through a design review process.

NCD

- Protection of neighborhood integrity
- Empowerment of neighborhoods to define unique character and features
- Promotion of compatible infill development
- Tool for neighborhood planning



LHD

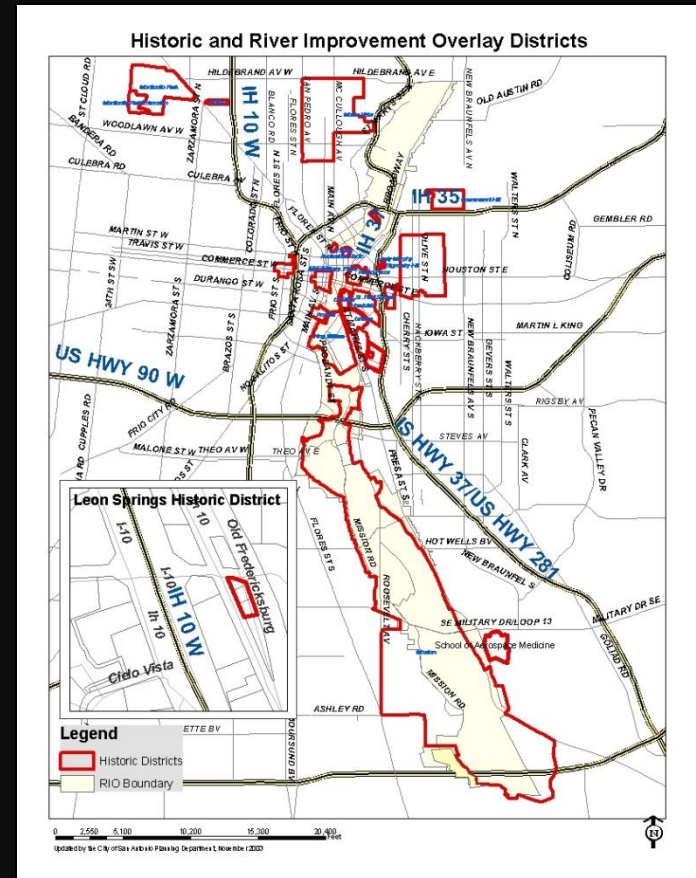
- Protection of district character
- Protection from demolition
- Protection from inappropriate design changes/development through application of Historic Design Guidelines and Secretary of the Interior's Standards
- Allows for consistent style and quality of rehabilitation and new construction
- **Tax incentives**

Local Historic Districts

27 Local Historic Districts

Alamo Plaza
Arsenal
Cattleman Square
Dignowity Hill
Fulton Avenue
Government Hill
Healy-Murphy
HemisFair
King William
La Villita
Lavaca
Leon Springs
Main & Military Plaza
Knob Hill

Mission
Monte Vista
Monticello Park
Old Lone Star Brewery
Olmos Park Terrace
School of Aerospace
Medicine
St. Paul Square
Tobin Hill
Ursuline Academy
Auditorium Circle
Woodlawn Lake
River Road
Keystone Park



Advantages of Designation

- Protection and preservation of the city's architectural and historic resources
- Design review process for exterior modifications to existing structures and for new construction to ensure compatible alterations



Historic Design Guidelines

- Adopted by City Council in 2012
- Provide guidelines to property owners and professionals working with historic properties for:
 - exterior maintenance and alterations
 - additions
 - new construction
 - site elements
 - signage
- Promote compatibility between new development and the existing historic environment



Design Review in Historic Districts

- Prior to getting building permits or starting work, an applicant submits an application and plans to the Office of Historic Preservation.
- Depending on type/scope of work, the application is either approved administratively by OHP staff or is reviewed by the Historic and Design Review Commission (HDRC).



Certificate of Appropriateness (COA)

- Document signed by Historic Preservation Officer that is required before obtaining building permits
- Can be approved through the HDRC or administratively by OHP staff (depending on type/scope of proposed project)



Administrative Approval



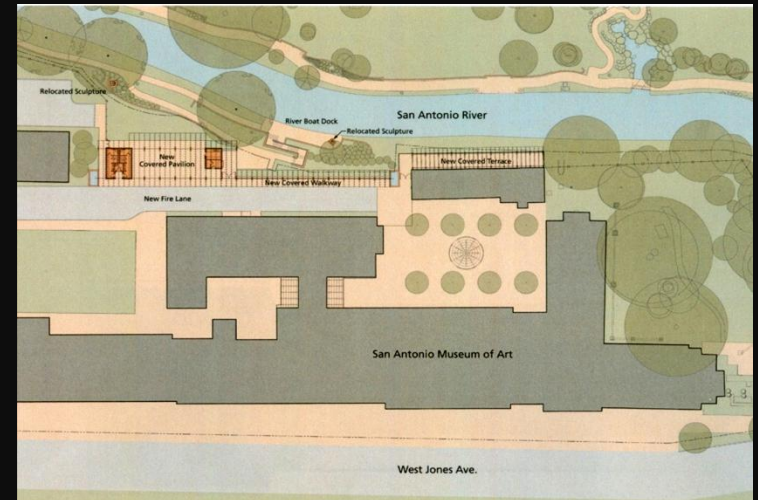
Examples:

- Repair/maintenance with in-kind materials
- Minor alterations of non-contributing elements
- Foundation, sidewalk, & driveway repair
- Minor landscaping
- Paint color that is consistent with the district on previously painted surfaces
- Replacement or new fencing for the side and backyard with appropriate material

* *Generally approved by OHP staff on the spot (no waiting)*

Historic & Design Review Commission (HDRC)

- 11 members appointed by City Council (includes architects, planners, archaeologists, and other professionals)
- Meetings held the first and third Wednesdays of each month
- Proposed changes are presented to the HDRC through the Office of Historic Preservation



Historic and Design Review Commission (HDRC)

- Review most exterior changes to historic properties
 - Additions
 - Demolitions
 - Major landscaping
 - Signage etc.



Other Design Review Services

- Design assistance
 - Design Review Committee
 - Application assistance
- * *No charge to homeowner;
professional expertise; helps save
time and money*



Historic District Designation Criteria

Based on National Register of Historic Places Criteria

- A: Associated with significant **events**
- B: Associated with significant **people**
- C: Distinctive style of **architecture**
- D: Yield important information
(**archeology**)




Historic District Designation Criteria

- Visible reminders of cultural heritage
- Identification with architects or builders
- Architectural styles representative of historic periods, types, or construction methods
- Historical, architectural, and cultural integrity of location, design, materials, and workmanship



Historic District Designation Process

 **APPLICATION FOR HISTORIC DISTRICT DESIGNATION**

CITY OF SAN ANTONIO
OFFICE OF HISTORIC PRESERVATION
1901 S. ALAMO, SAN ANTONIO, TEXAS 78204
P: 210.215.9274 E: OHP@SANANTONIO.GOV

DATE RECEIVED

LOCATION AND CLASSIFICATION

Neighborhood Association Name

Proposed Historic District Name

Approximate number of properties within proposed district boundary

Application must be accompanied by a map of the proposed boundary.

APPLICANT INFORMATION

Applicant Name

Mailing Address (must be within proposed district)

Business Phone Home Phone

E-Mail

The Office of Historic Preservation designates landmarks and historic districts on the basis of historical, architectural, and cultural significance. Section 35-607 of the Unified Development Code outlines the Designation Criteria for Historic Districts and Landmarks. Please provide a **Statement of Significance** for why the area meets the criteria for historic district designation as outlined by the Unified Development Code.

I, THE APPLICANT, DECLARE THAT I AM THE OWNER OR AUTHORIZED AGENT OF AN OWNER(S) OF PROPERTY WITHIN THE PROPOSED BOUNDARY AREA TO REQUEST HISTORIC DESIGNATION OF THIS DISTRICT AND THAT THE INFORMATION PRESENTED IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

SIGNATURE _____ DATE _____

- Submission of Historic District Designation Application to Office of Historic Preservation
- OHP staff reviews application for eligibility and concurrence with proposed district boundary

Historic District Designation Process



- Public meeting with property owners
- Neighborhood must submit a petition showing “substantial” percentage (30%) of property support to begin public hearing process
- HDRC
- Zoning Commission
- City Council

Tax Incentives

- **New Historic District
Tax Incentive**
- **Substantial Rehabilitation
Tax Incentive**



New Historic District Tax Incentive (Owner-Occupied Residences)

- All owner-occupied residential properties in newly designated historic districts receive a **20% exemption in their city property taxes** for 10 years provided the owner remains in the property
- Can be extended for an additional 5 years (15 years total) if owner remains in property



Substantial Rehabilitation Tax Incentive

- Historic landmarks and properties within historic districts
- Credit for interior and exterior work that extends the life of the property
- All work must be approved by HDRC
- Project must be Certified before work begins and Verified after completion



Rehabilitation in Historic Districts

Rehabilitation in Dignowity Hill Historic District



before

after

Rehabilitation in Historic Districts



before

Rehabilitation in Dignowity Hill Historic District

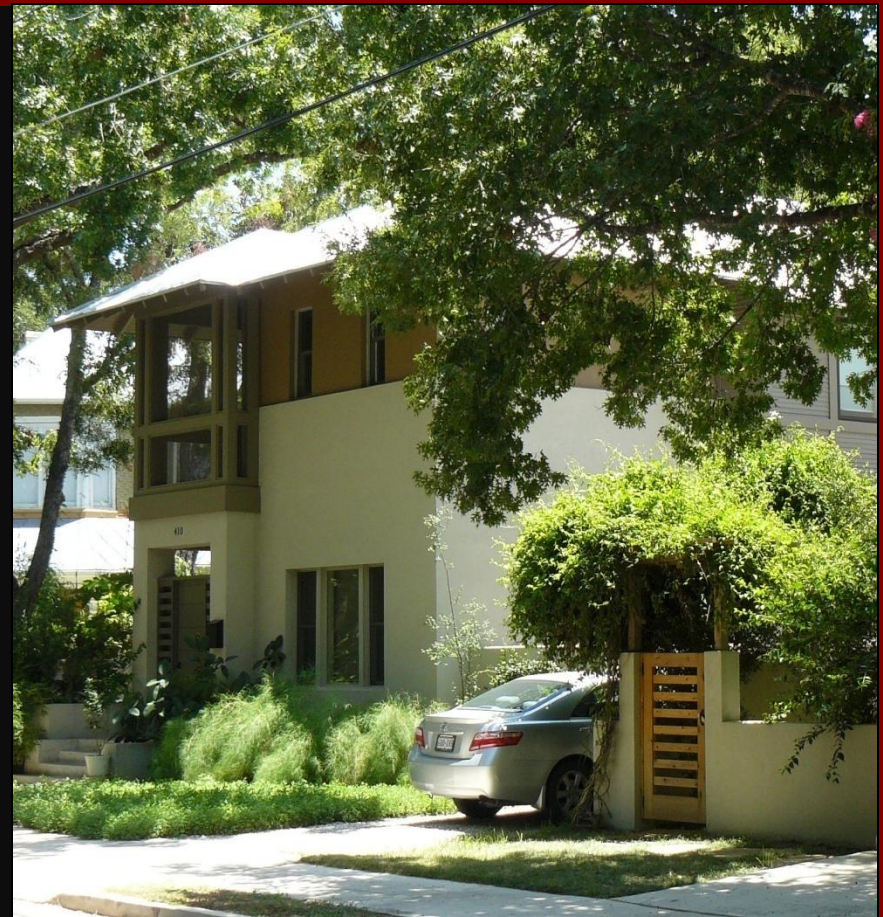


after

New Development in Historic Districts



King William



King William

New Development in Historic Districts



Lavaca



King William

Commonly asked questions

- What are the benefits of historic district designation?
- Does historic district designation effect the use of my property?
- Does district designation require changes to the exterior of my property?
- Does district designation require me to “retro-fit” my property to have a more historic look?
- Will I be told what color to paint my house?
- Will I need to hire an architect?
- Will my taxes increase?

City of San Antonio



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